

INTEROFFICE MEMORANDUM

Ref #: DMPVI-26-02-001

TO : Acctg. / Customer Care / Credit & Collection / DICD / Finance / IT / Marketing / PAU
/ Sales Management / Sales Admin

CC : BPU / PD FILE

FROM : Project Development

DATE : February 4, 2026

SUBJECT : **THE VALERON TOWER**
Release of Additional Studio Inventory

In line with the selling efforts to improve the sales of the Valeron Tower and to provide various unit cuts, please be advised that we will be releasing additional inventory of our converted Studio units at the Valeron Tower West located at the 15th to 20th floor, effective on March 6, 2026.

I. NEW INVENTORY RELEASE:

a. Inventory Summary and Price Ranges (as reflected in pricelist)

Type	Description	No. Of Inventory	Area	Gross Area	List Price	
			(in sqm., more or less)		Min	Max
Units	STU	12	32.5	32.5	7,033,000	7,612,000
	Total	12				

With this conversion, we will be deleting **six (6)** 2BR units from our inventory

b. Launch Inventory

Released Inventory	This Launch	For Deletion	Total
1,198	12	-6	1,204

c. Availability Plans

1. Unit Availability Plans dated March 2025 (DE-25-03-005)

II. TIMETABLE, PAYMENT TERMS, & IMPLEMENTING GUIDELINES

a. Timetable

Item	Date
1. Pricelist Effective Date	March 6, 2026
2. End of Down payment Period	June 2029
3. Target Completion Date / RFO Date	July 2029

4. Due Date for Bank Financing and Balance upon Turnover	July 2029
--	-----------

b. Payment Terms and Discounts

Payment Term	Particulars
30%	All Units

Standard discount shall apply as indicated in memo PD-19-09-026

Implementing Guidelines

1. Checks Issued should be payable to "DMCI MC Property Ventures Inc."
2. Unit Reservation Fee in PESOS: Twenty Thousand Only (Php 20,000.00)
3. Standard Closing Fees shall apply
4. Prices and selling details are subject to change, and as such, both sellers and clients are enjoined to verify at the same time of actual purchase

For your information and guidance

Thank you.

THE VALERON TOWER

West

Units

Ready for Occupancy (RFO): July 2029

Effective Date: March 6, 2026

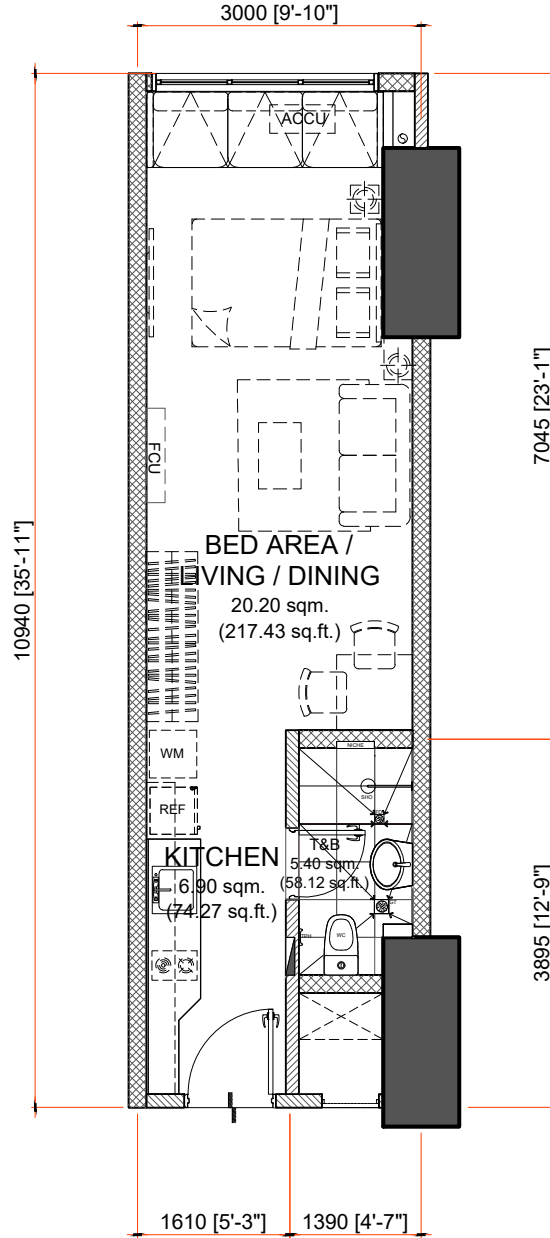
Based on Availability Plans dated March 2025 (Ref. # DE-25-03-005).



UNIT NO.	DESCRIPTION	UNIT AREA (sqm)	BALCONY (sqm)	TOTAL AREA (sqm)	LIST PRICE (Php; with VAT if applicable)
West - 15th Floor: Atrium Floor					
1503A	Studio C (Inner)	32.50	0.00	32.50	7,612,000
1503B	Studio C (Inner)	32.50	0.00	32.50	7,612,000
West - 16th Floor: Typical Floor					
1603A	Studio C (Inner)	32.50	0.00	32.50	7,033,000
1603B	Studio C (Inner)	32.50	0.00	32.50	7,033,000
West - 17th Floor: Typical Floor					
1703A	Studio C (Inner)	32.50	0.00	32.50	7,049,000
1703B	Studio C (Inner)	32.50	0.00	32.50	7,049,000
West - 18th Floor: Typical Floor					
1803A	Studio C (Inner)	32.50	0.00	32.50	7,064,000
1803B	Studio C (Inner)	32.50	0.00	32.50	7,064,000
West - 19th Floor: Typical Floor					
1903A	Studio C (Inner)	32.50	0.00	32.50	7,079,000
1903B	Studio C (Inner)	32.50	0.00	32.50	7,079,000
West - 20th Floor: Typical Floor					
2003A	Studio C (Inner)	32.50	0.00	32.50	7,094,000
2003B	Studio C (Inner)	32.50	0.00	32.50	7,094,000

Notes:

1. Cash Price is List Price less 10%.
2. Price of parking slot is not included in the List Price. Parking slots are sold separately.
3. Prices may include VAT, if applicable.
4. Prices indicated are exclusive of closing fees.
5. The areas (sqm) may change based on actual site condition.
6. Requests for unit alteration shall conform to the cut-off dates for tandem and non-installation requests.
7. The contents herein are subject to change without prior notice and do not constitute an offer or contract.



APPLICABLE TO:
THE VALERON TOWER WEST




32.50 sq.m. STUDIO TYPE C
 INNER UNIT - 32.50 sq.m. / 349.82 sq.ft.
 GROSS FLOOR AREA - 32.50 sq.m. / 349.82 sq.ft.

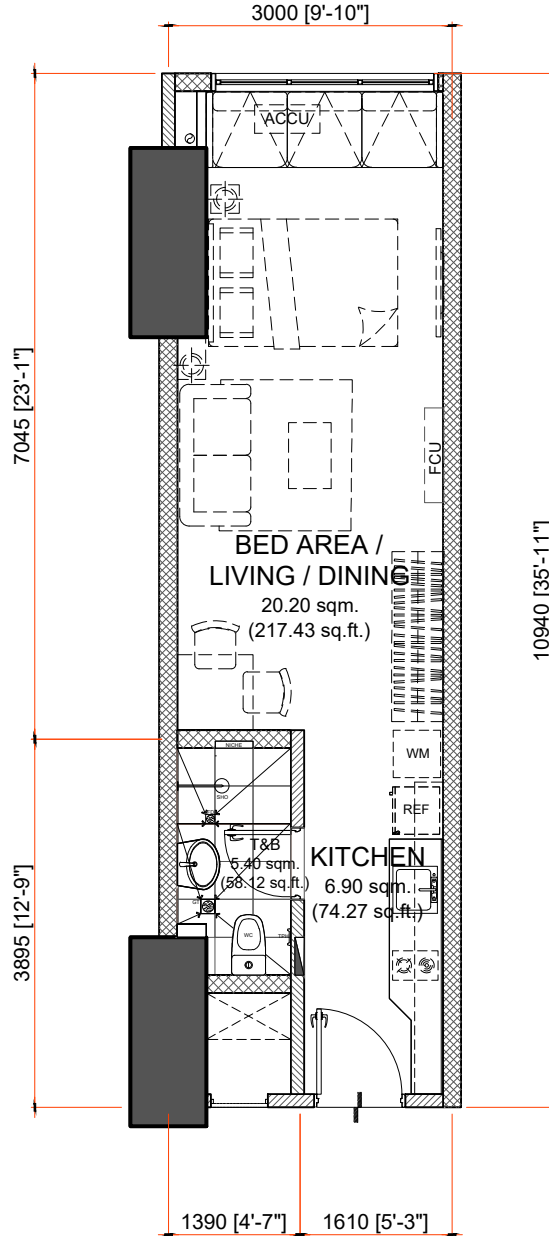
SCALE: 1:80 mtrs.

NOTE:

- DIMENSIONS & AREAS MAY VARY BASED ON ACTUAL SITE CONDITION.
- FURNITURE & APPLIANCES ARE NOT INCLUDED.
- FLOOR PLANS DEPICTED IN THIS MATERIAL ARE FOR ILLUSTRATION PURPOSE ONLY
- ALL PLANS DETAIL AND SPECIFICATION CONTAINED HEREIN ARE SUBJECT TO CHANGE WITHOUT PRIOR NOTICE AND DO NOT CONSTITUTE PART OF ANY OFFER OR CONTRACT.

INNER UNIT	AREA	
	SQ. MTR.	SQ. FT.
LIVING / DINING / BED AREA	20.20	217.43
KITCHEN	6.90	74.27
T&B	5.40	58.12
UNIT AREA	32.50	349.82
GR. FLR. AREA	32.50	349.82

NOTED BY:		
NOEL		11MAR25
FE		3/11/25
ANA		3/12



32.50 sq.m. STUDIO TYPE C.1
INNER UNIT - 32.50 sq.m. / 349.82 sq.ft.
GROSS FLOOR AREA - 32.50 sq.m. / 349.82 sq.ft.




SCALE: 1:80 mtrs.

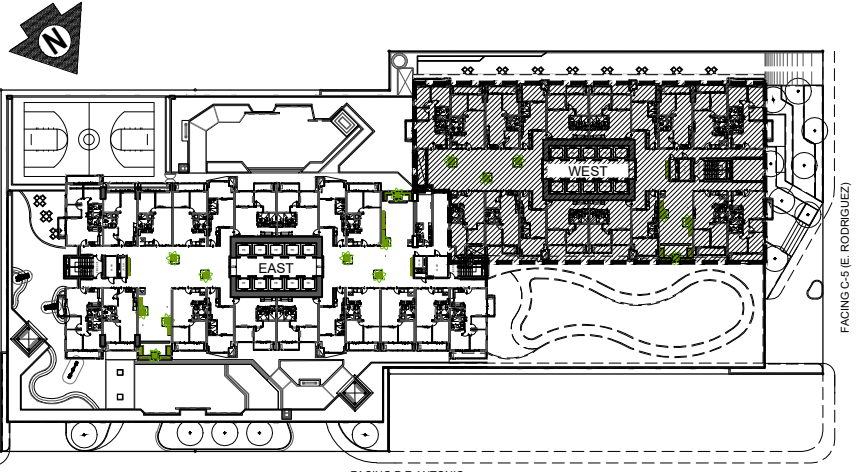
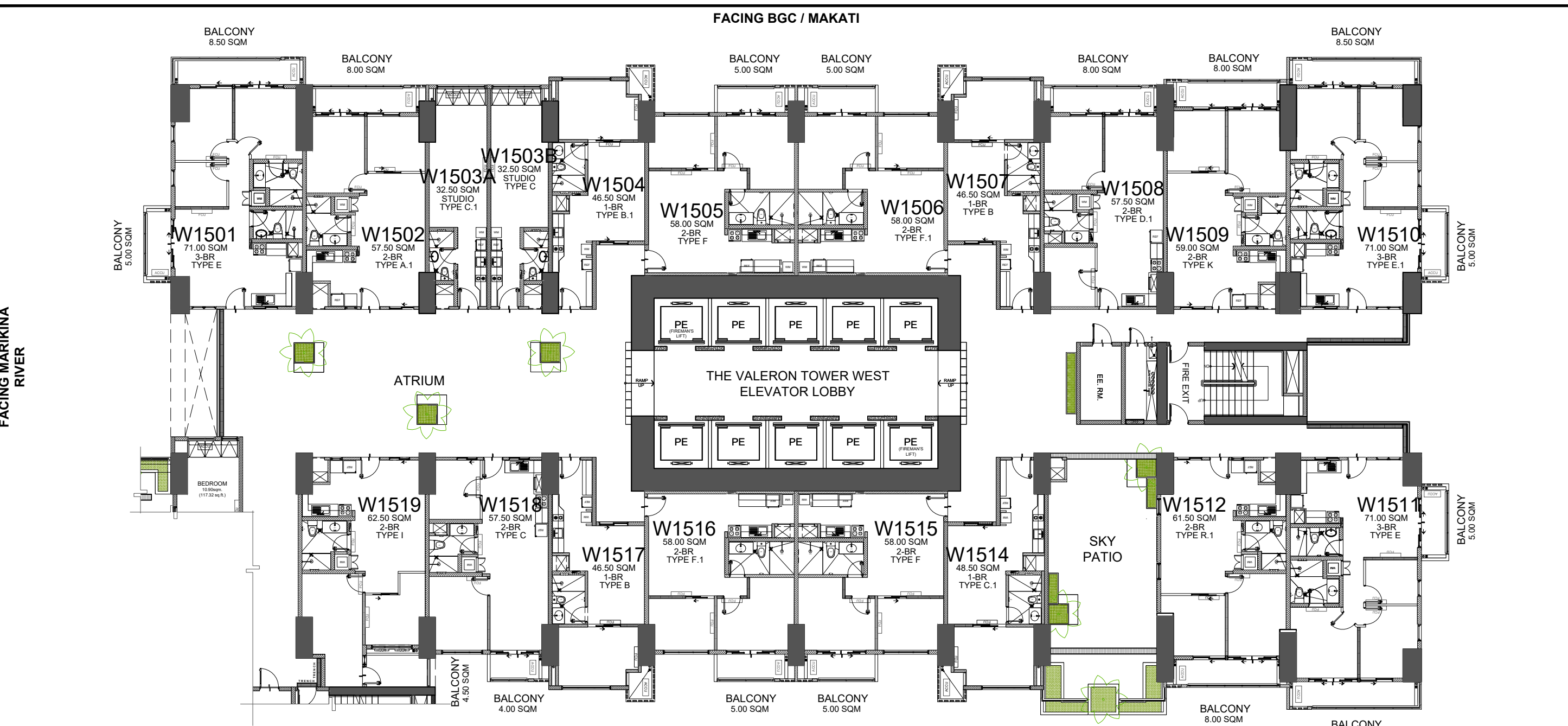
NOTE:

- DIMENSIONS & AREAS MAY VARY BASED ON ACTUAL SITE CONDITION.
- FURNITURE & APPLIANCES ARE NOT INCLUDED.
- FLOOR PLANS DEPICTED IN THIS MATERIAL ARE FOR ILLUSTRATION PURPOSE ONLY
- ALL PLANS DETAIL AND SPECIFICATION CONTAINED HEREIN ARE SUBJECT TO CHANGE WITHOUT PRIOR NOTICE AND DO NOT CONSTITUTE PART OF ANY OFFER OR CONTRACT.

**APPLICABLE TO:
 THE VALERON TOWER WEST**

INNER UNIT	AREA	
	SQ. MTR.	SQ. FT.
LIVING / DINING / BED AREA	20.20	217.43
KITCHEN	6.90	74.27
T&B	5.40	58.12
UNIT AREA	32.50	349.82
GR. FLR. AREA	32.50	349.82

NOTED BY:		
NOEL		11MAR25
FE		2/11/25
ANA		3/12



LIST FOR POSSIBLE TANDEM UNITS:

W1508 & W1509

NOTE:
Standard company policy regarding request for tandem shall apply.

KEY PLAN

NOTED BY:	ELLA		3/10/25
	FE		3/10/25
	ANA		3/12



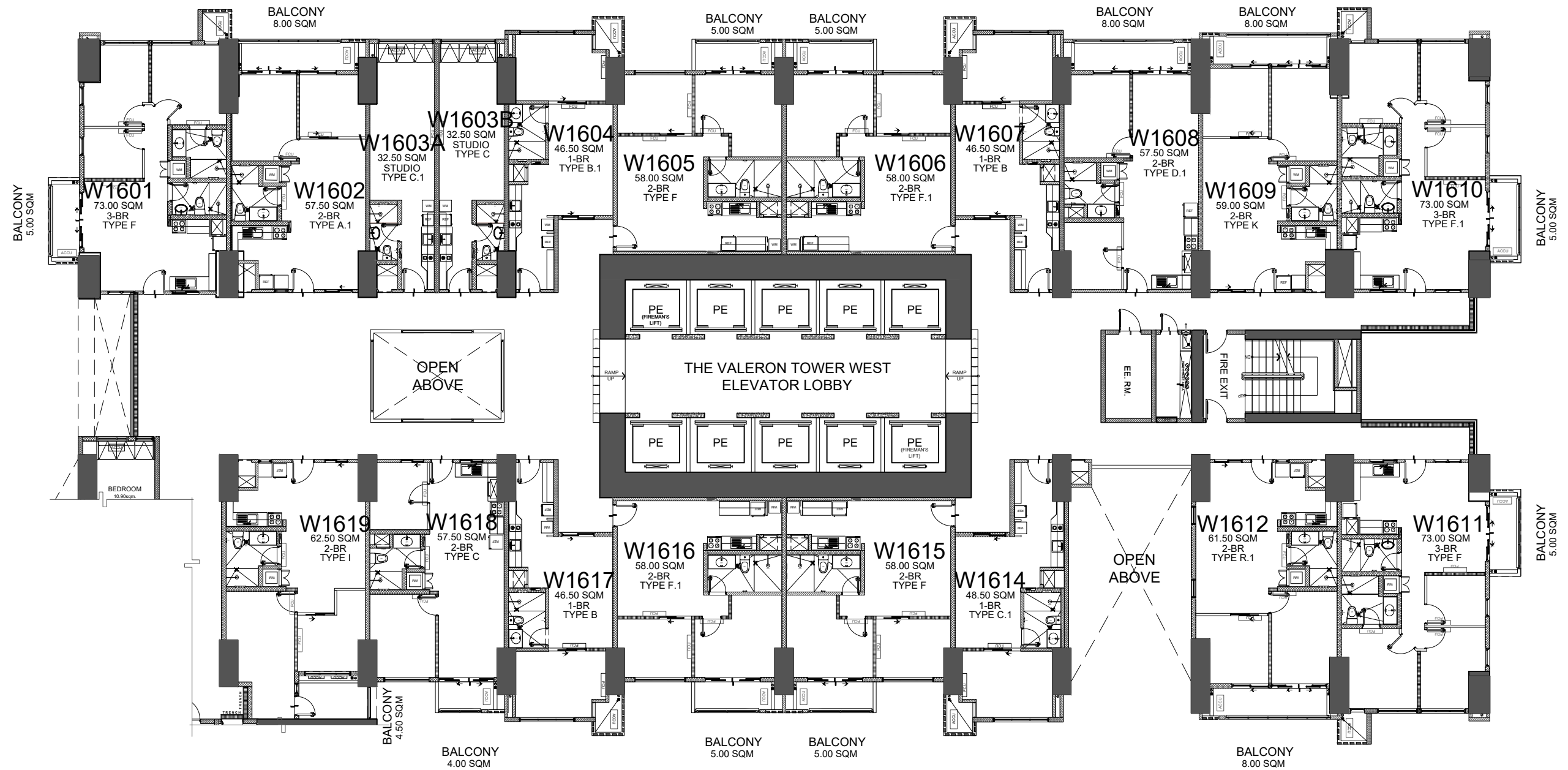
15TH FLOOR
THE VALERON TOWER - WEST
 MARCH 2025
 PER MEMO REF. # DE-25-03-005



AVAILABILITY PLAN

Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

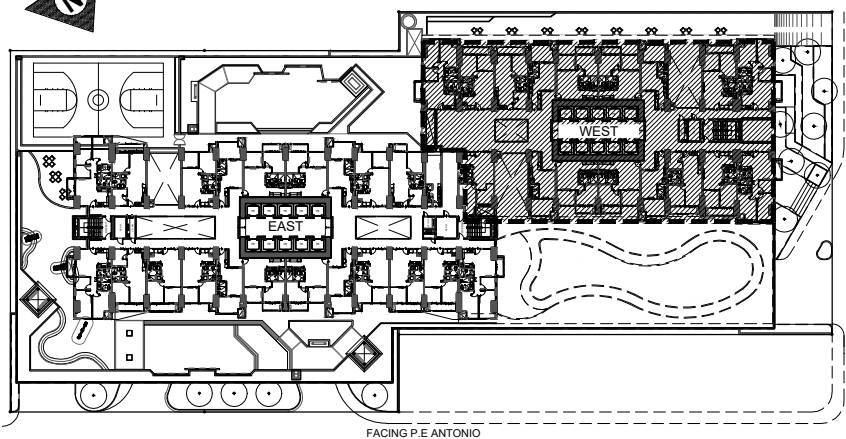
FACING BGC / MAKATI



FACING PE ANTONIO / QUEZON CITY

FACING MARIKINA RIVER

FACING C-5 (E. RODRIGUEZ) / ORTIGAS



KEY PLAN

LIST FOR POSSIBLE TANDEM UNITS:

W1608 & W1609

NOTE:

Standard company policy regarding request for tandem shall apply.

NOTED BY:	ELLA	<i>[Signature]</i>	3/10/25
	FE	<i>[Signature]</i>	3/11/25
	ANA	<i>[Signature]</i>	3/12



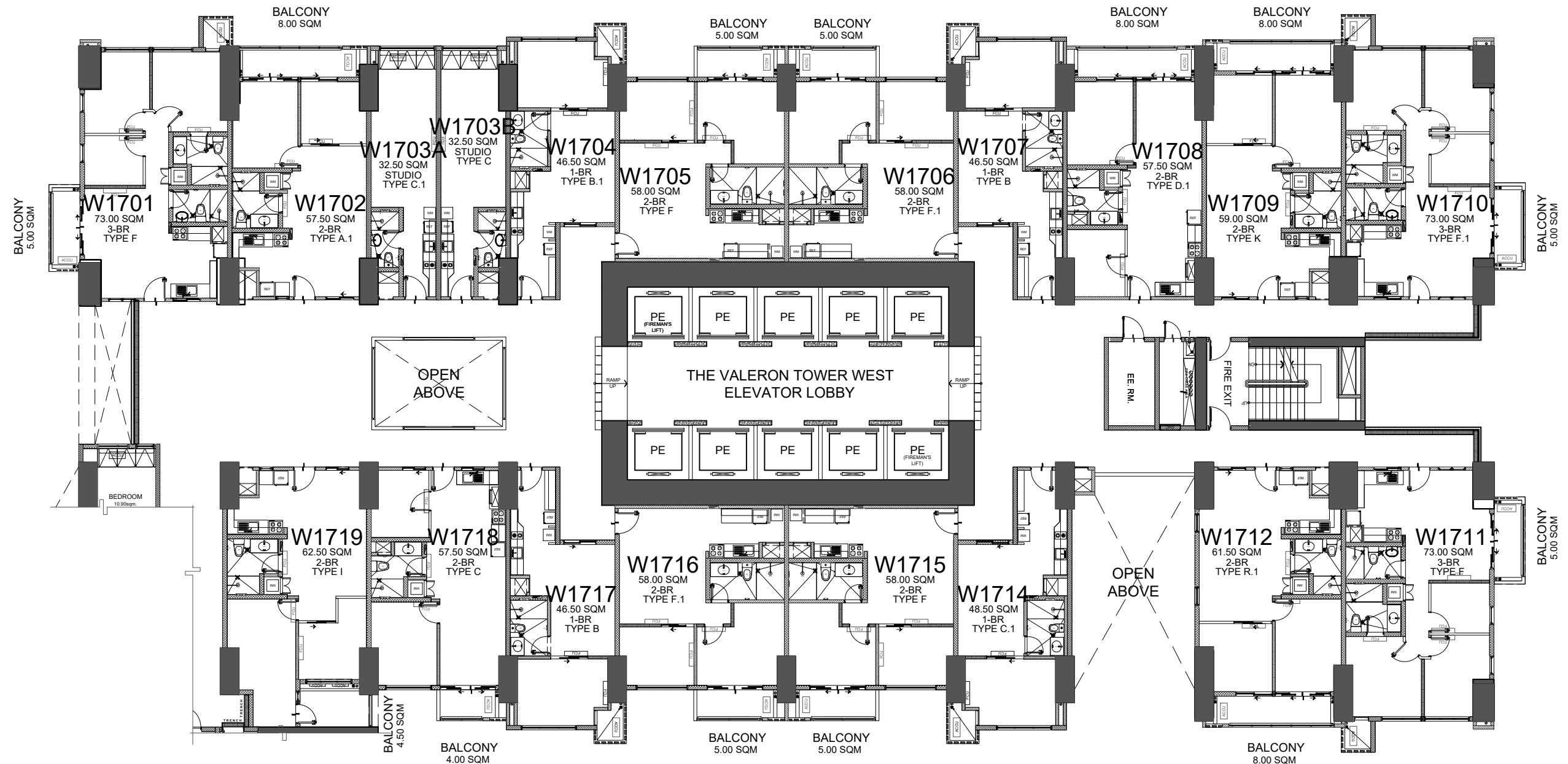
16TH FLOOR
THE VALERON TOWER - WEST
 MARCH 2025
 PER MEMO REF. # DE-25-03-005



Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

AVAILABILITY PLAN

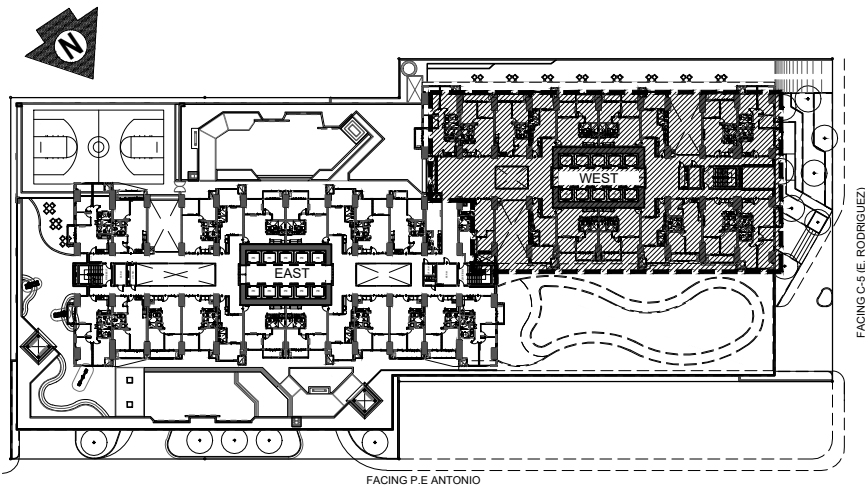
FACING BGC / MAKATI



FACING PE ANTONIO / QUEZON CITY

FACING MARIKINA RIVER

FACING C-5 (E. RODRIGUEZ) / ORTIGAS



KEY PLAN



NOTED BY:	ELLA	<i>[Signature]</i>	3/10/25
	FE	<i>[Signature]</i>	3/11/25
	ANA	<i>[Signature]</i>	3/12

17TH FLOOR
THE VALERON TOWER - WEST
MARCH 2025
PER MEMO REF. # DE-25-03-005

LIST FOR POSSIBLE TANDEM UNITS:

W1708 & W1709

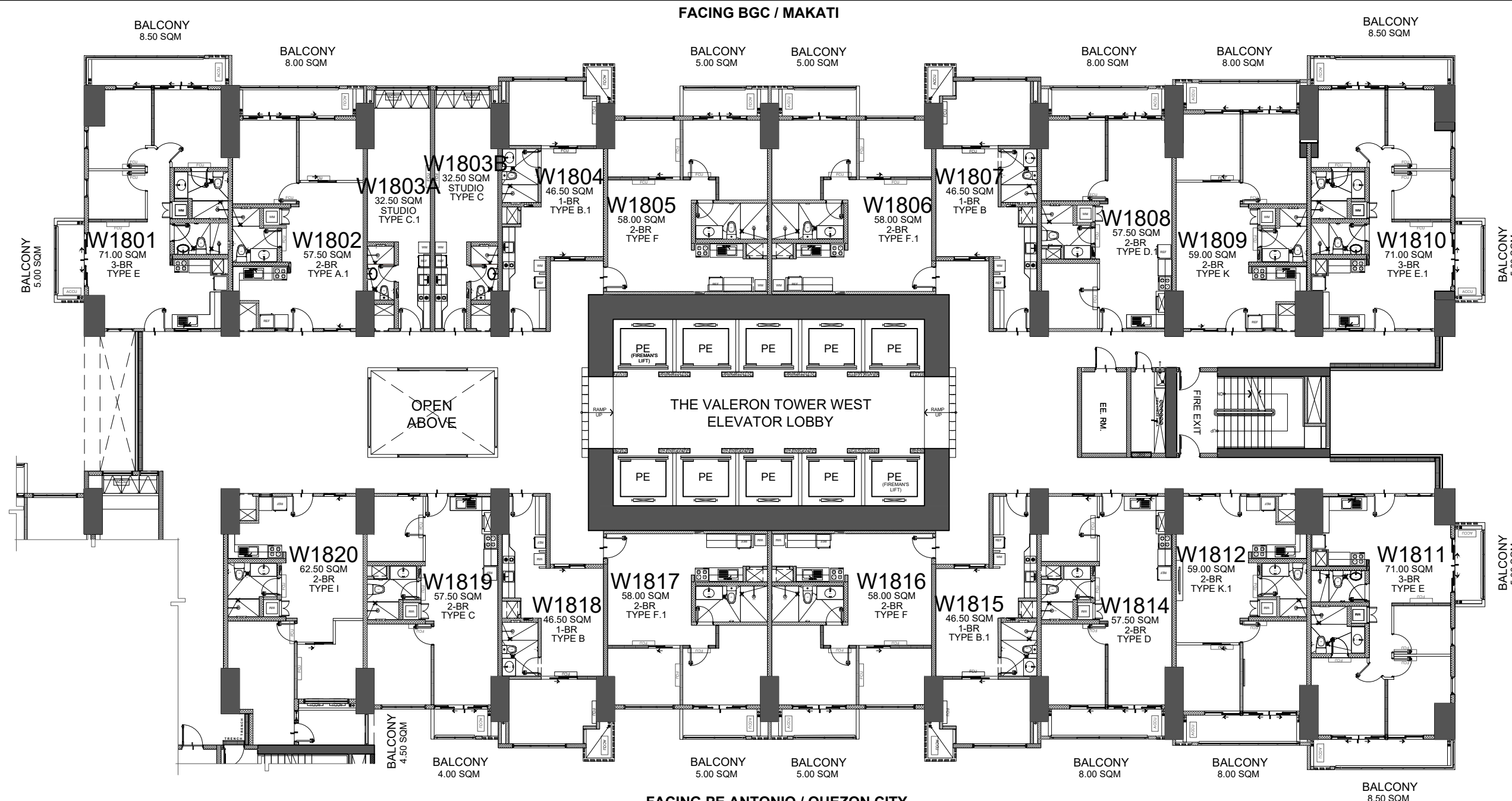
NOTE:
Standard company policy regarding request for tandem shall apply.



THE VALERON
TOWER

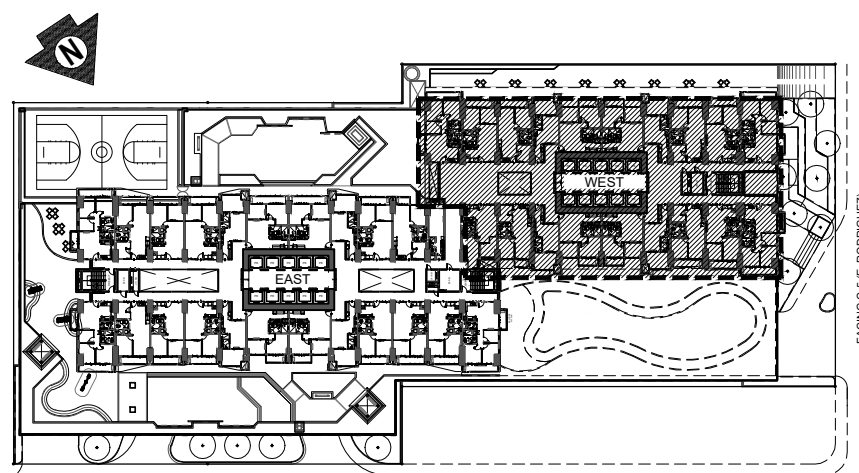
Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

AVAILABILITY PLAN



FACING MARIKINA RIVER

FACING C-5 (E. RODRIGUEZ) / ORTIGAS



KEY PLAN

NOTED BY:	ELLA	<i>[Signature]</i>	3/10/25
	FE	<i>[Signature]</i>	3/11/25
	ANA	<i>[Signature]</i>	3/12



18TH FLOOR
THE VALERON TOWER - WEST
 MARCH 2025
 PER MEMO REF. # DE-25-03-005

LIST FOR POSSIBLE TANDEM UNITS:

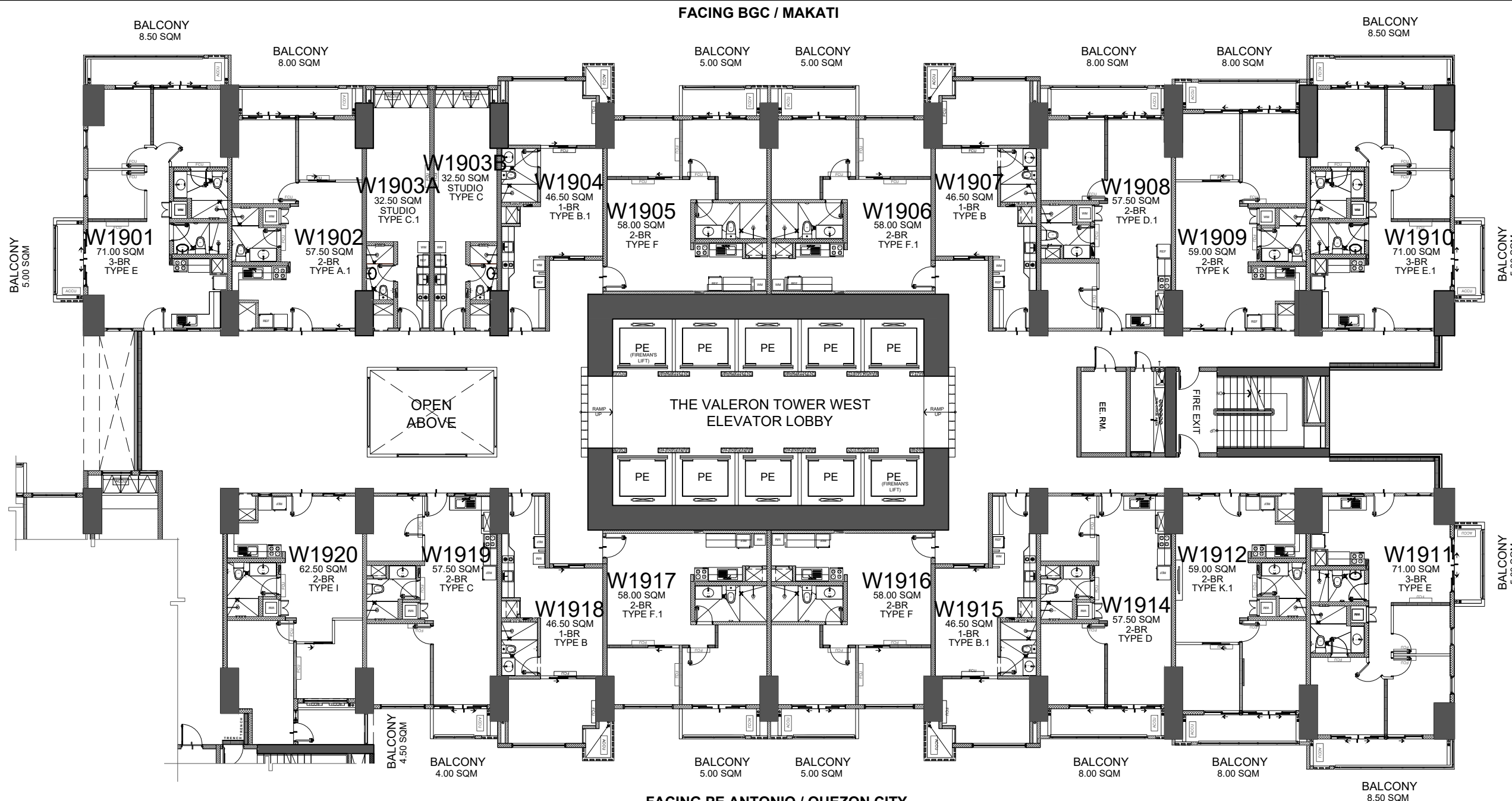
- W1808 & W1809
- W1812 & W1814

NOTE:
Standard company policy regarding request for tandem shall apply.



AVAILABILITY PLAN

Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

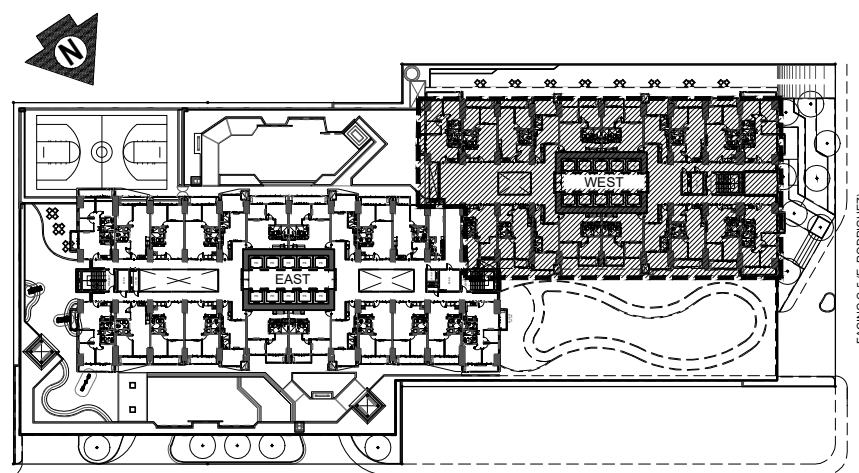


FACING MARIKINA RIVER

FACING BGC / MAKATI

FACING C-5 (E. RODRIGUEZ) / ORTIGAS

FACING PE ANTONIO / QUEZON CITY



KEY PLAN

LIST FOR POSSIBLE TANDEM UNITS:

- W1908 & W1909
- W1912 & W1914

NOTE:
Standard company policy regarding request for tandem shall apply.

NOTED BY:	ELLA	<i>[Signature]</i>	3/10/25
	FE	<i>[Signature]</i>	3/11/25
	ANA	<i>[Signature]</i>	3/12

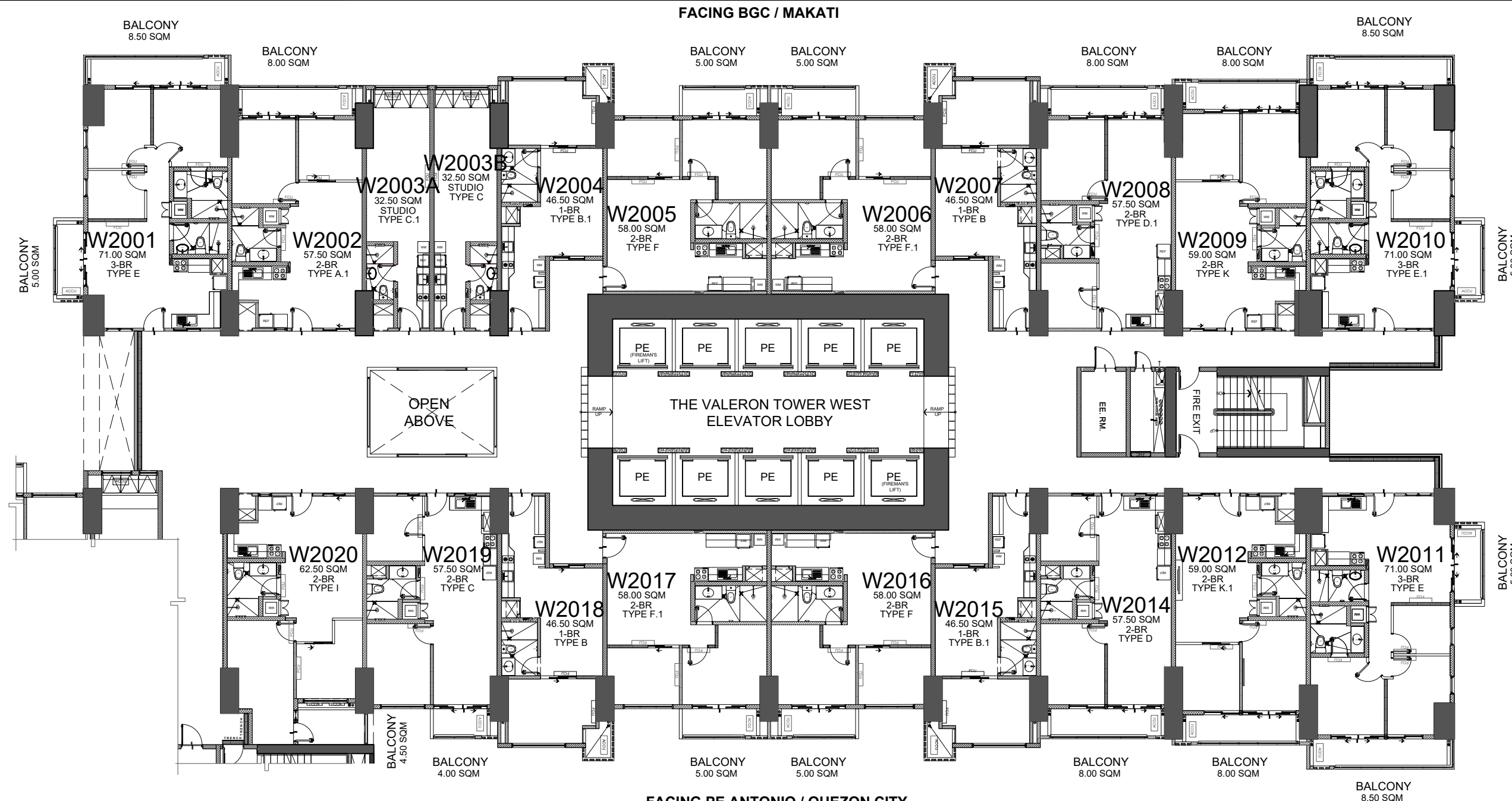


19TH FLOOR
THE VALERON TOWER - WEST
 MARCH 2025
 PER MEMO REF. # DE-25-03-005



Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

AVAILABILITY PLAN

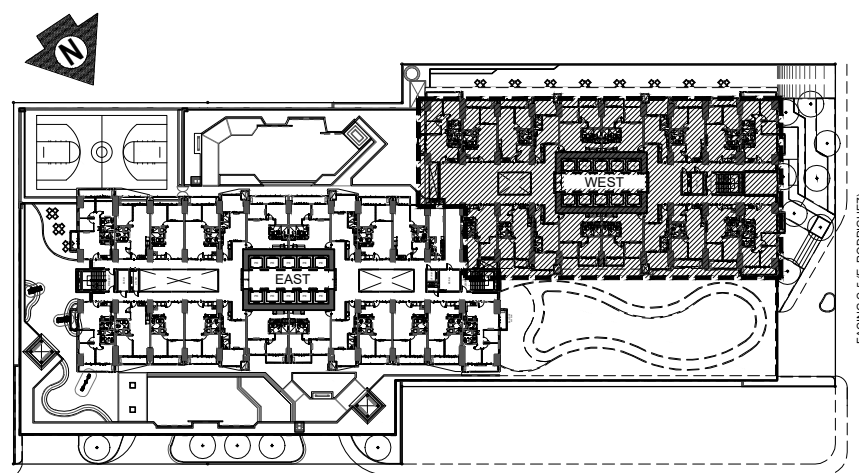


FACING MARIKINA RIVER

FACING BGC / MAKATI

FACING C-5 (E. RODRIGUEZ) / ORTIGAS

FACING PE ANTONIO / QUEZON CITY



KEY PLAN

LIST FOR POSSIBLE TANDEM UNITS:

- W2008 & W2009
- W2012 & W2014

NOTE:
Standard company policy regarding request for tandem shall apply.

NOTED BY:	ELLA		3/10/25
	FE		3/11/25
	ANA		3/12



20TH FLOOR
THE VALERON TOWER - WEST
 MARCH 2025
 PER MEMO REF. # DE-25-03-005



Disclaimer: Floor plans depicted in this material are for demonstration purposes only and should not be relied upon as final project plans. For announcement purposes only.

AVAILABILITY PLAN